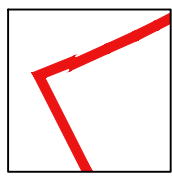

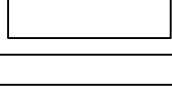

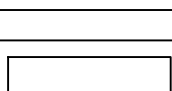


NOTES-PLANNING

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LEGEND

-  SITE BOUNDARY
-  DEMOLITION
-  OUTLINE OF BUILDING OVERHEAD
-  2M X 2M VISIBILITY SPLAY
-  PROPOSED PLANTING

NOTE: POSITION OF ALL SMOKE VENTS AND DRY RISERS TBC AT BUILDING REGULATIONS STAGE
NOTE: SPRINKLER SYSTEM AND INTELLIGENT SIGNAGE REQUIRED - DESIGN TO BE CONFIRMED AT BUILDING REGULATION STAGE

TOTAL GIA - 3359.6 SQ.M / 36,162 SQ.FT
SITE AREA: 0.246 HECTARES / 0.609 ACRES
80 CYCLE SPACES FOR FLAT RESIDENTS AND VISITORS 15 PARKING SPACES - UNALLOCATED

F	Highways and planning changes	29.06.21	TC
E	ARC Checks	07.04.21	TC
D	Highways consultant design added, ARC Checks	06.04.21	TC
C	Lift relocated / client floorplan change	22.03.21	TC
B	Client changes to units.	16.03.21	TC
A	Client changes to units.	03.03.21	TC
No.	Revision.	date	by

LAND AT CORNER OF BARRACK ROAD AND THE GROVE, ADJACENT TO TESCO PETROL STATION

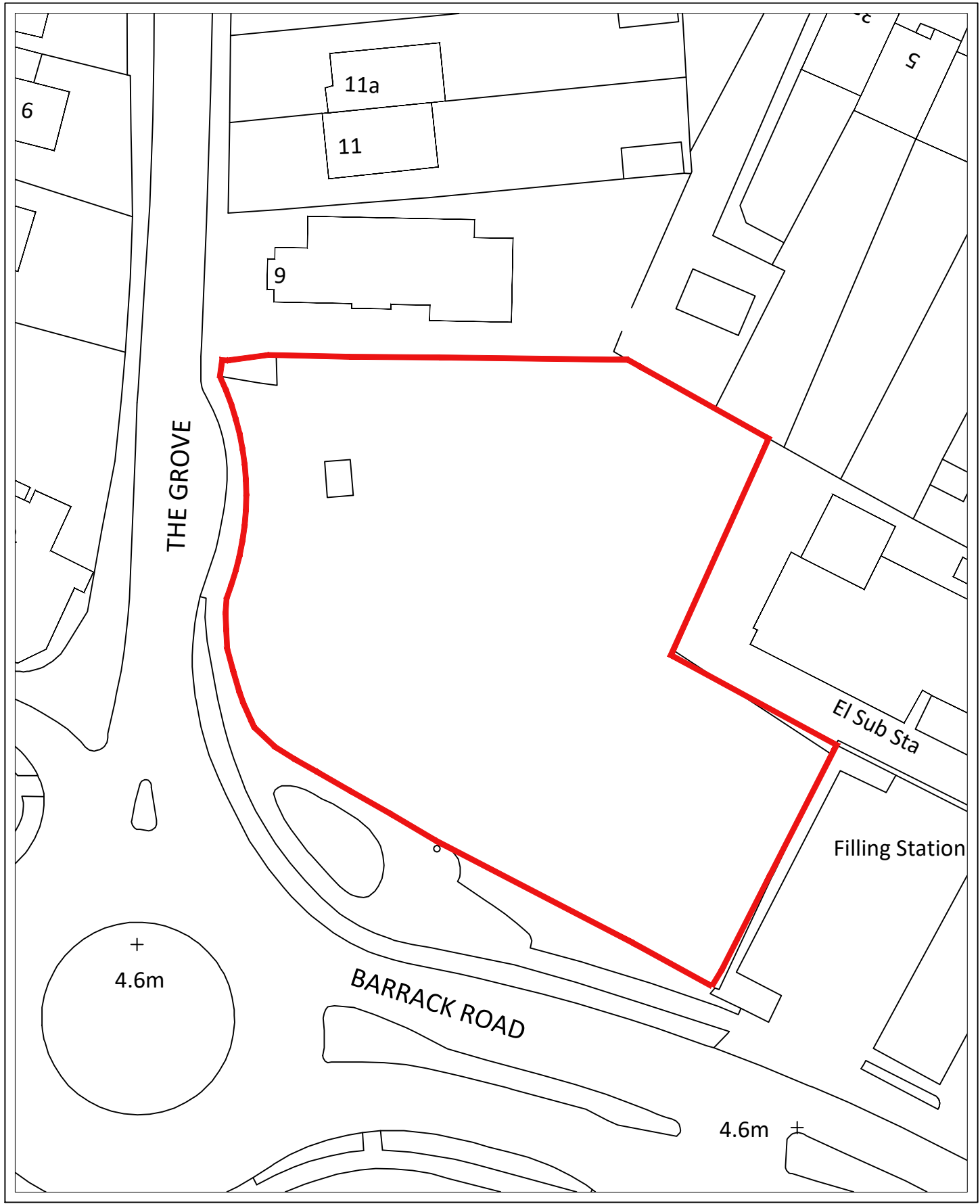
SITE, BLOCK AND LOCATION PLAN

scale	AS SHOWN @ A1	checked	BC
date	JUNE 2021	drown	TC / BC
9436 / 100		A	B
		C	D
		E	F

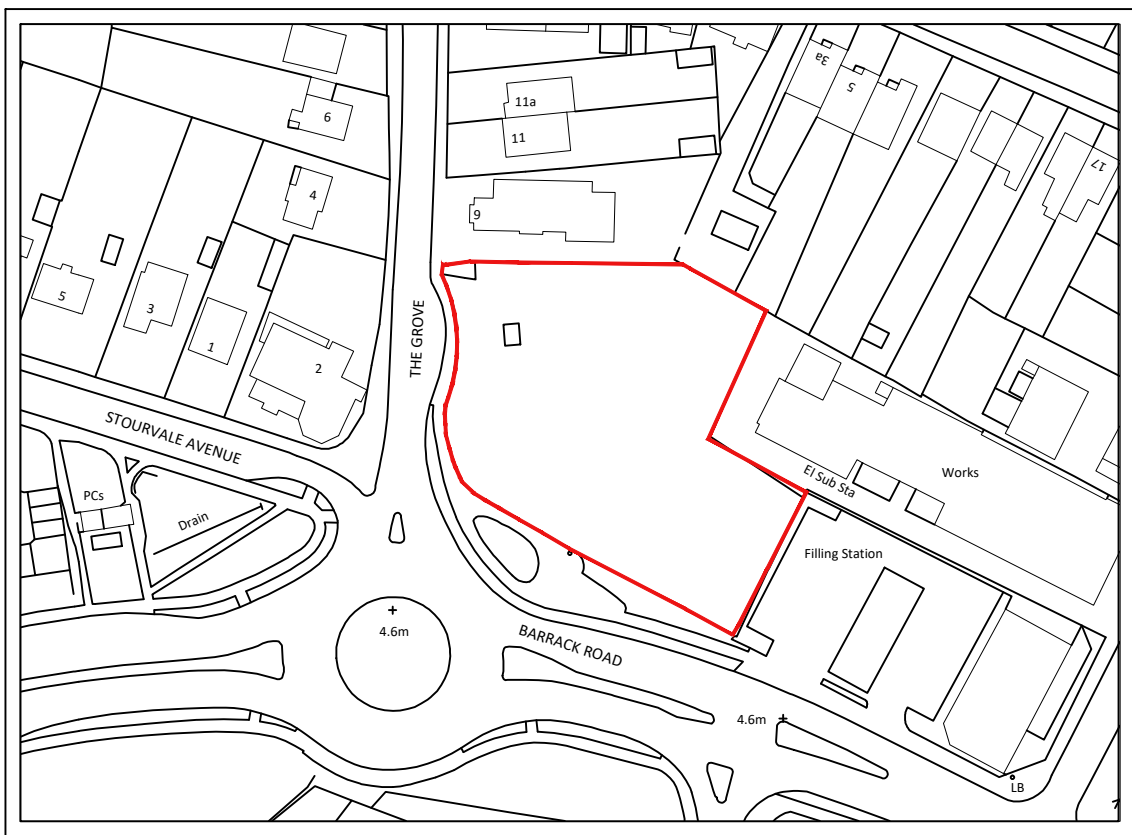
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Christchurch, Dorset, BH23 1EP

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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



BLOCK PLAN
SCALE 1:500
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



LOCATION PLAN
SCALE 1:1250
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



SITE PLAN
SCALE 1:200
BASED ON O.S INFORMATION

DESIGNERS RISK ASSESSMENT

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

GENERAL NOTES:

- Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers and or Principal Contractor carrying out the next phase of works on this site.

INFORMATION

CDM - PRE-CONSTRUCTION INFO FROM CLIENT

CDM Information requested from client:
1) Topographical Survey
2) Flood risk assessment

Outstanding CDM information remains as residual risk, please request ARC appendix for full list requested.

DESIGN INFORMATION

Further design info to be provided at subsequent stages of design / building regulations process

CONSTRUCTION RISKS

- PROPOSED BUILDING IN CLOSE PROXIMITY TO BOUNDARY
- WORKING AT HEIGHT
- CONSTRUCTION ACCESS
- PROXIMITY TO HIGHWAYS / FOOTPATHS
- ACCESS ARRANGEMENTS FOR MEMBERS OF PUBLIC DURING CONSTRUCTION

* Safe construction method to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.

PLACEMENT OF ROOF FEATURES (SOLAR PANELS / AOV'S / PLANT ETC)

Positioning of roof features to be as remote from edge of building as possible

FLAT ROOF ACCESS

Roof access for construction to be undertaken by specialist using specialist equipment, e.g. scaffolding, appropriately designed and installed man safe system by specialist designer.

PROXIMITY TO OVERHEAD SERVICES

Mitigation / Diversion to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.

SOLAR PANELS

Solar panels to be positioned as far from edges of flat roof as feasibly possible.

ROOFLIGHT SPECIFICATION

To be designed by specialist supplier to be structurally sound (where roof access is required), and to incorporate self cleaning glass

MAINTENANCE RISKS

- SOLAR PANELS
- PLANT / SERVICE AREAS
- ACCESS TO AOV'S
- Maintenance to be undertaken by specialist using specialist equipment, e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.
- CHANGING LIGHT BULBS

No lighting or electrical fixtures or fittings to be positioned above or close to double height space.

CLEANING WINDOWS

Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems.

French door glazing can be cleaned from balcony's

CLEANING GUTTERS

Gutters to be cleaned from ground level by specialist using specialist equipment, e.g. long reach and clean systems where possible. Parapets and valleys to be accessed when required via scaffolding - to be assembled by a specialist.

FLAT ROOF ACCESS

Plant or apparatus on the roof to be kept to a minimum and positioned away from edges/ potential falls.

IN - USE RISKS

RADON GAS

Potential for presence of Radon Gas to be investigated. If present, specialist to provide design to negate.

CONTAMINATION SURVEY

Potential for VOC's and other harmful contaminants - to be investigated prior to further works. If present, specialist to provide design to negate.

BIN COLLECTION

ARC recommends that a Management plan is produced in conjunction with the local authority with regards to safe collection of underground bin stores.

FLOODING RISK

Non slip surfaces to be specified where possible in case of flooding

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LEGEND

10m @ 1:200

NOTE: POSITION OF ALL SMOKE VENTS AND DRY RISERS TBC AT BUILDING REGULATION STAGE.
NOTE: SPRINKLER SYSTEM AND INTELLIGENT SIGNAGE REQUIRED - DESIGN TO BE CONFIRMED AT BUILDING REGULATION STAGE

GROSS INTERNAL AREA

GROUND FLOOR -	810.4 SQ.M / 8723 SQ.FT
FIRST FLOOR -	935.7 SQ.M / 10071 SQ.FT
SECOND FLOOR -	935.5 SQ.M / 10069 SQ.FT
THIRD FLOOR -	676.5 SQ.M / 7281 SQ.FT
TOTAL GIA -	3359.6 SQ.M / 36,162 SQ.FT

E	Highways and planning changes	29.06.21	TC
D	ARC Checks	06.04.21	TC
C	Lift relocated / client floorplan change	22.03.21	TC
B	Client changes to units.	16.03.21	TC
A	Client changes to units.	03.03.21	TC

No.	Revision.	date	by
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LAND AT CORNER OF BARRACK ROAD
AND THE GROVE, ADJACENT TO TESCO
PETROL STATION

BLOCK OF FLATS
PROPOSED FLOOR PLANS

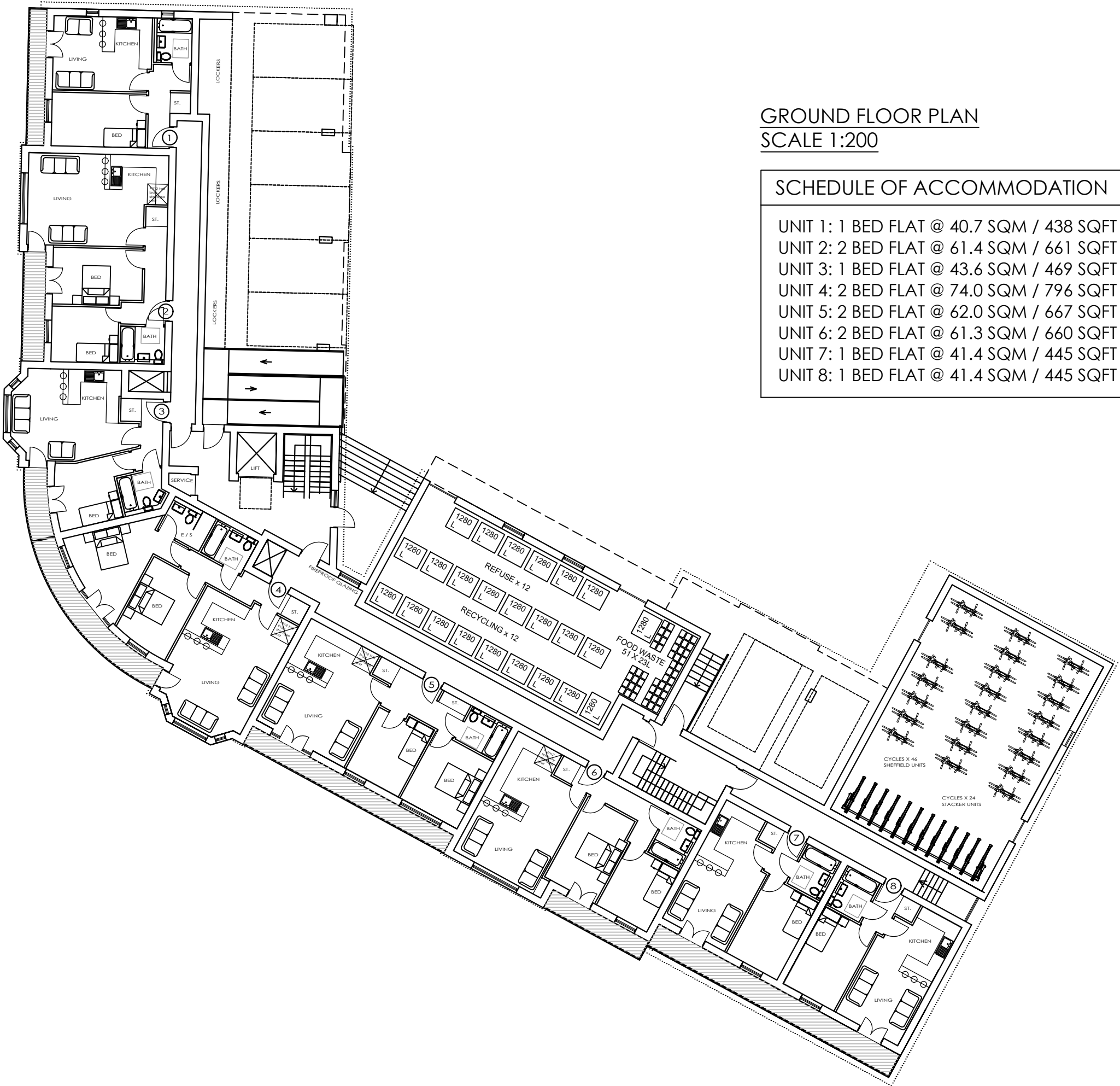
scale	AS SHOWN @ A1	checked	BC
date	JUNE 2021	drawn	TC / BC

9436 / 101

ARC Architecture Ltd.

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Christchurch, Dorset, BH23 1EP

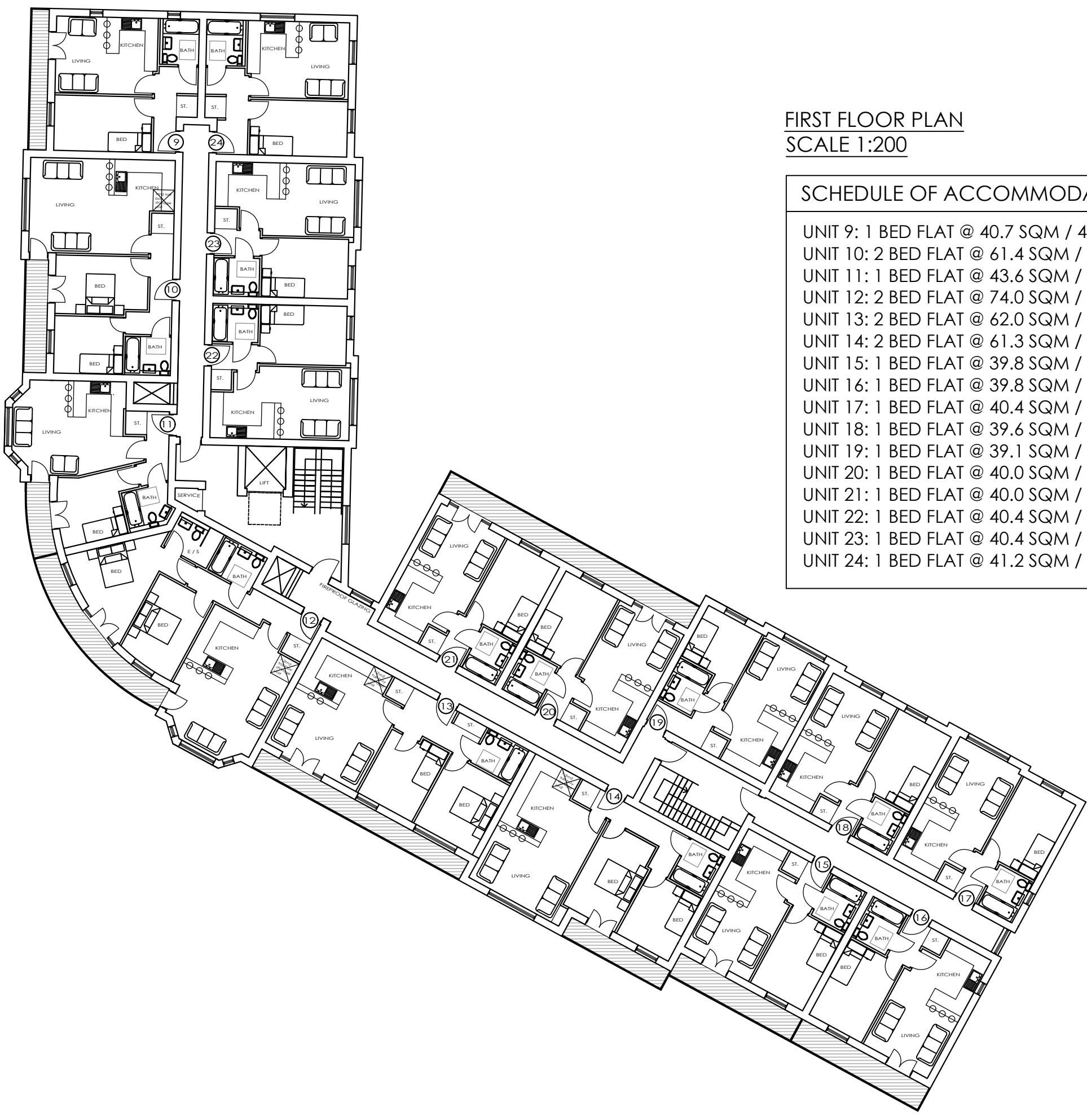
Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



GROUND FLOOR PLAN
SCALE 1:200

SCHEDULE OF ACCOMMODATION

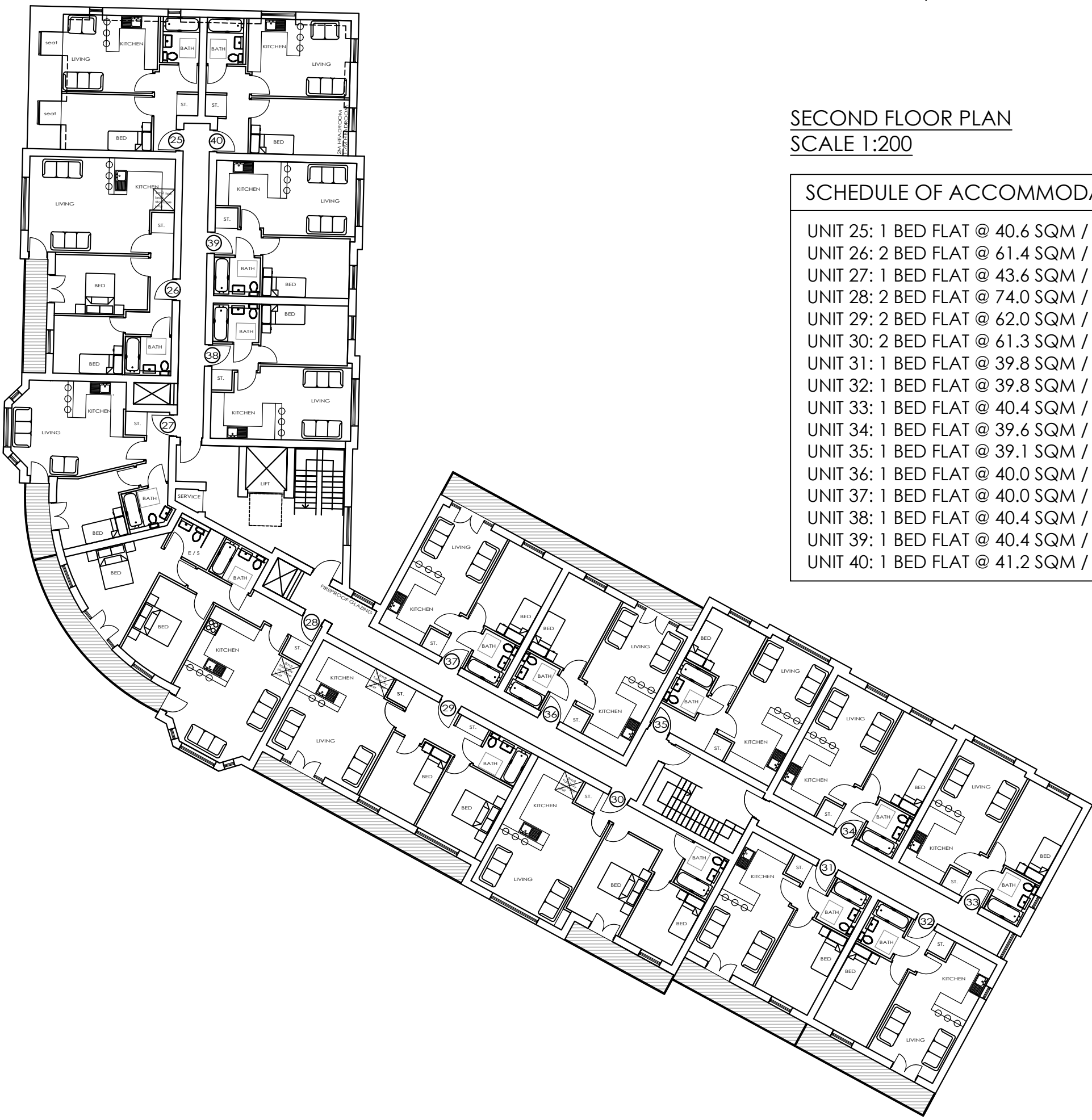
UNIT 1: 1 BED FLAT @ 40.7 SQM / 438 SQFT
UNIT 2: 2 BED FLAT @ 61.4 SQM / 661 SQFT
UNIT 3: 1 BED FLAT @ 43.6 SQM / 469 SQFT
UNIT 4: 2 BED FLAT @ 74.0 SQM / 796 SQFT
UNIT 5: 2 BED FLAT @ 62.0 SQM / 667 SQFT
UNIT 6: 2 BED FLAT @ 61.3 SQM / 660 SQFT
UNIT 7: 1 BED FLAT @ 41.4 SQM / 445 SQFT
UNIT 8: 1 BED FLAT @ 41.4 SQM / 445 SQFT



FIRST FLOOR PLAN
SCALE 1:200

SCHEDULE OF ACCOMMODATION

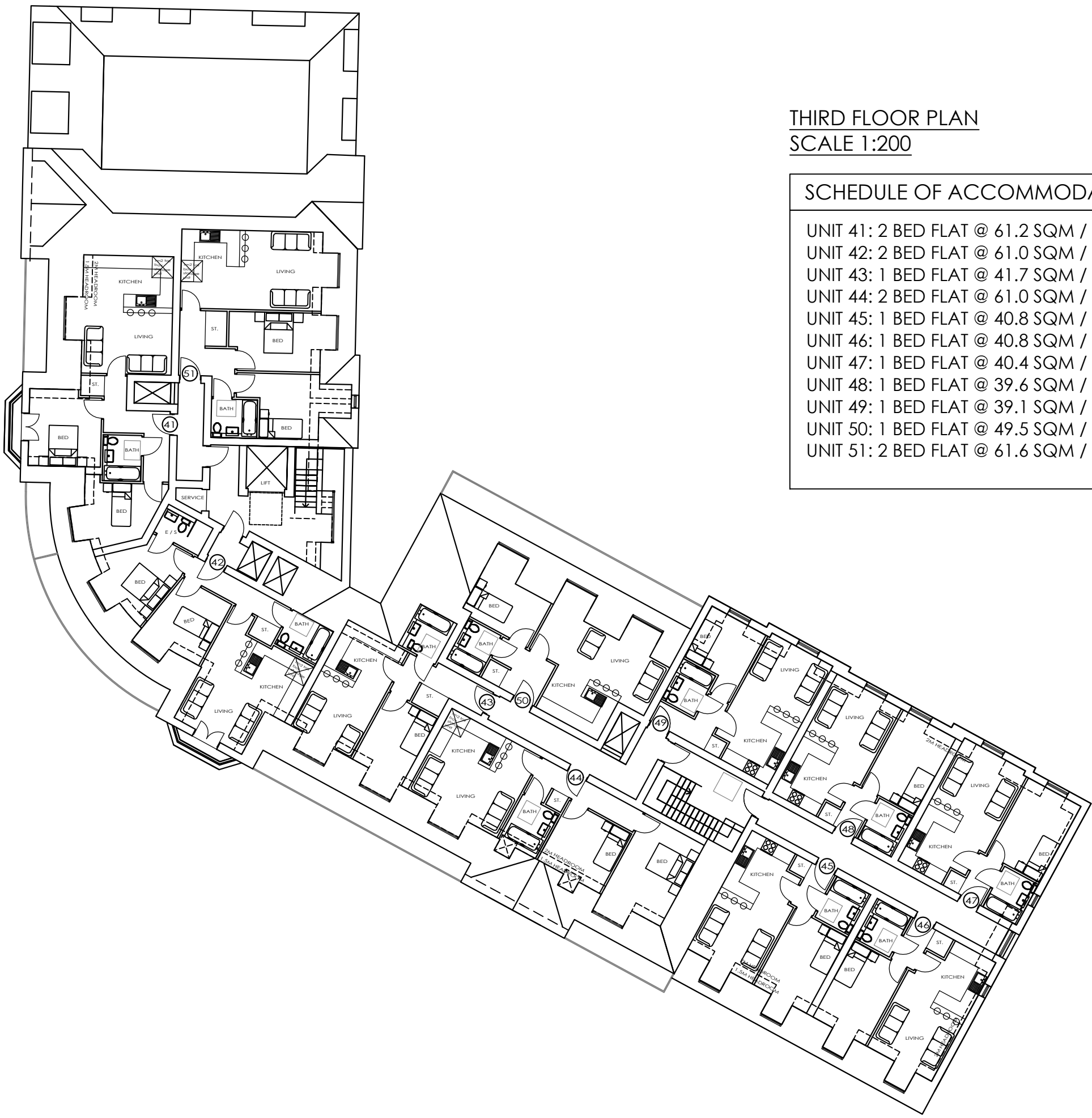
UNIT 9: 1 BED FLAT @ 40.7 SQM / 438 SQFT
UNIT 10: 2 BED FLAT @ 61.4 SQM / 661 SQFT
UNIT 11: 1 BED FLAT @ 43.6 SQM / 469 SQFT
UNIT 12: 2 BED FLAT @ 74.0 SQM / 796 SQFT
UNIT 13: 2 BED FLAT @ 62.0 SQM / 667 SQFT
UNIT 14: 2 BED FLAT @ 61.3 SQM / 660 SQFT
UNIT 15: 1 BED FLAT @ 39.8 SQM / 428 SQFT
UNIT 16: 1 BED FLAT @ 39.8 SQM / 428 SQFT
UNIT 17: 1 BED FLAT @ 40.4 SQM / 434 SQFT
UNIT 18: 1 BED FLAT @ 39.6 SQM / 426 SQFT
UNIT 19: 1 BED FLAT @ 39.1 SQM / 421 SQFT
UNIT 20: 1 BED FLAT @ 40.0 SQM / 430 SQFT
UNIT 21: 1 BED FLAT @ 40.0 SQM / 430 SQFT
UNIT 22: 1 BED FLAT @ 40.4 SQM / 435 SQFT
UNIT 23: 1 BED FLAT @ 40.4 SQM / 435 SQFT
UNIT 24: 1 BED FLAT @ 41.2 SQM / 443 SQFT



SECOND FLOOR PLAN
SCALE 1:200

SCHEDULE OF ACCOMMODATION

UNIT 25: 1 BED FLAT @ 40.6 SQM / 436 SQFT
UNIT 26: 2 BED FLAT @ 61.4 SQM / 661 SQFT
UNIT 27: 1 BED FLAT @ 43.6 SQM / 469 SQFT
UNIT 28: 2 BED FLAT @ 74.0 SQM / 796 SQFT
UNIT 29: 2 BED FLAT @ 62.0 SQM / 667 SQFT
UNIT 30: 2 BED FLAT @ 61.3 SQM / 660 SQFT
UNIT 31: 1 BED FLAT @ 39.8 SQM / 428 SQFT
UNIT 32: 1 BED FLAT @ 39.8 SQM / 428 SQFT
UNIT 33: 1 BED FLAT @ 40.4 SQM / 434 SQFT
UNIT 34: 1 BED FLAT @ 39.6 SQM / 426 SQFT
UNIT 35: 1 BED FLAT @ 39.1 SQM / 421 SQFT
UNIT 36: 1 BED FLAT @ 40.0 SQM / 430 SQFT
UNIT 37: 1 BED FLAT @ 40.0 SQM / 430 SQFT
UNIT 38: 1 BED FLAT @ 40.4 SQM / 435 SQFT
UNIT 39: 1 BED FLAT @ 40.4 SQM / 435 SQFT
UNIT 40: 1 BED FLAT @ 41.2 SQM / 443 SQFT



THIRD FLOOR PLAN
SCALE 1:200

SCHEDULE OF ACCOMMODATION

UNIT 41: 2 BED FLAT @ 61.2 SQM / 658 SQFT
UNIT 42: 2 BED FLAT @ 61.0 SQM / 657 SQFT
UNIT 43: 1 BED FLAT @ 41.7 SQM / 449 SQFT
UNIT 44: 2 BED FLAT @ 61.0 SQM / 657 SQFT
UNIT 45: 1 BED FLAT @ 40.8 SQM / 440 SQFT
UNIT 46: 1 BED FLAT @ 40.8 SQM / 440 SQFT
UNIT 47: 1 BED FLAT @ 40.4 SQM / 434 SQFT
UNIT 48: 1 BED FLAT @ 39.6 SQM / 426 SQFT
UNIT 49: 1 BED FLAT @ 39.1 SQM / 421 SQFT
UNIT 50: 1 BED FLAT @ 49.5 SQM / 533 SQFT
UNIT 51: 2 BED FLAT @ 61.6 SQM / 663 SQFT

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LEGEND



10m @ 1:100

MATERIAL SCHEDULE (A1 FIRE RATED)	
WALLS:	
BRICK	
STONE EFFECT DETAILING	
WINDOWS AND DOORS:	
WHITE	
ROOF:	
CLAY EFFECT TILES	
SLATE EFFECT TILES	
<i>Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)</i>	

C	Lift relocated / client floorplan change	22.03.21	TC
B	Client changes to units.	19.03.21	TC
A	Client changes to chimney	03.03.21	TC

No.	Revision.	date	by
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LAND AT CORNER OF BARRACK ROAD AND THE GROVE, ADJACENT TO TESCO PETROL STATION

BLOCK OF FLATS - PROPOSED WEST AND SOUTH ELEVATIONS

scale	AS SHOWN @ A1	checked	BC				
date	MARCH 2021	drawn	TC / BC				
9436 / 102		A	B	C			

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PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED SOUTH ELEVATION
SCALE 1:100





PROPOSED NORTH ELEVATION 1
SCALE 1:100



PROPOSED NORTH ELEVATION 2
SCALE 1:100

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LEGEND



10m @ 1:100

MATERIAL SCHEDULE (A1 FIRE RATED)

WALLS:

BRICK
STONE EFFECT DETAILING

WINDOWS AND DOORS:

WHITE

ROOF:

CLAY EFFECT TILES
SLATE EFFECT TILES
FLAT ROOF MEMBRANE

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E	Highways and planning changes	29.06.21	TC
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C	Lift relocated / client floorplan change	22.03.21	TC
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A	Client changes to chimney	03.03.21	TC

No.	Revision.	date	by
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LAND AT CORNER OF BARRACK ROAD
AND THE GROVE, ADJACENT TO TESCO
PETROL STATION

BLOCK OF FLATS - PROPOSED
NORTH ELEVATIONS

scale	AS SHOWN @ A1	checked	BC
date	JUNE 2021	drawn	TC / BC
9436 / 103		A	B
		C	D
		E	

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PROPOSED EAST ELEVATION 1
SCALE 1:100



PROPOSED EAST ELEVATION 2
SCALE 1:100

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15. All Cladding & building attachments to be all A1 fire rated.
16. We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control or ownership.
17. We do not take responsibility for meeting minimum space as setout in Government Technical housing standards - nationally described space standards document.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



10m @ 1:100

MATERIAL SCHEDULE (A1 FIRE RATED)

WALLS:
BRICK
STONE EFFECT DETAILING
WINDOWS AND DOORS:
WHITE
ROOF:
CLAY EFFECT TILES
SLATE EFFECT TILES
FLAT ROOF MEMBRANE

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (Living system behind cladding should also be non combustibile A1 or A2 rated and agreed with fire consultant)

E	Highways and planning changes	29.06.21	TC
D	ARC Checks	06.04.21	TC
C	Lift relocated / client floorplan change	22.03.21	TC
B	Client changes to units.	19.03.21	TC
A	Client changes to chimney	03.03.21	TC

No.	Revision.	date	by
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LAND AT CORNER OF BARRACK ROAD
AND THE GROVE, ADJACENT TO TESCO
PETROL STATION

BLOCK OF FLATS - PROPOSED EAST ELEVATIONS

scale	AS SHOWN @ A1	checked	BC
date	JUNE 2021	drawn	TC / BC
		A	B
		C	D
		E	

9436 / 104

ARC Architecture Ltd.

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Christchurch, Dorset, BH23 1EP

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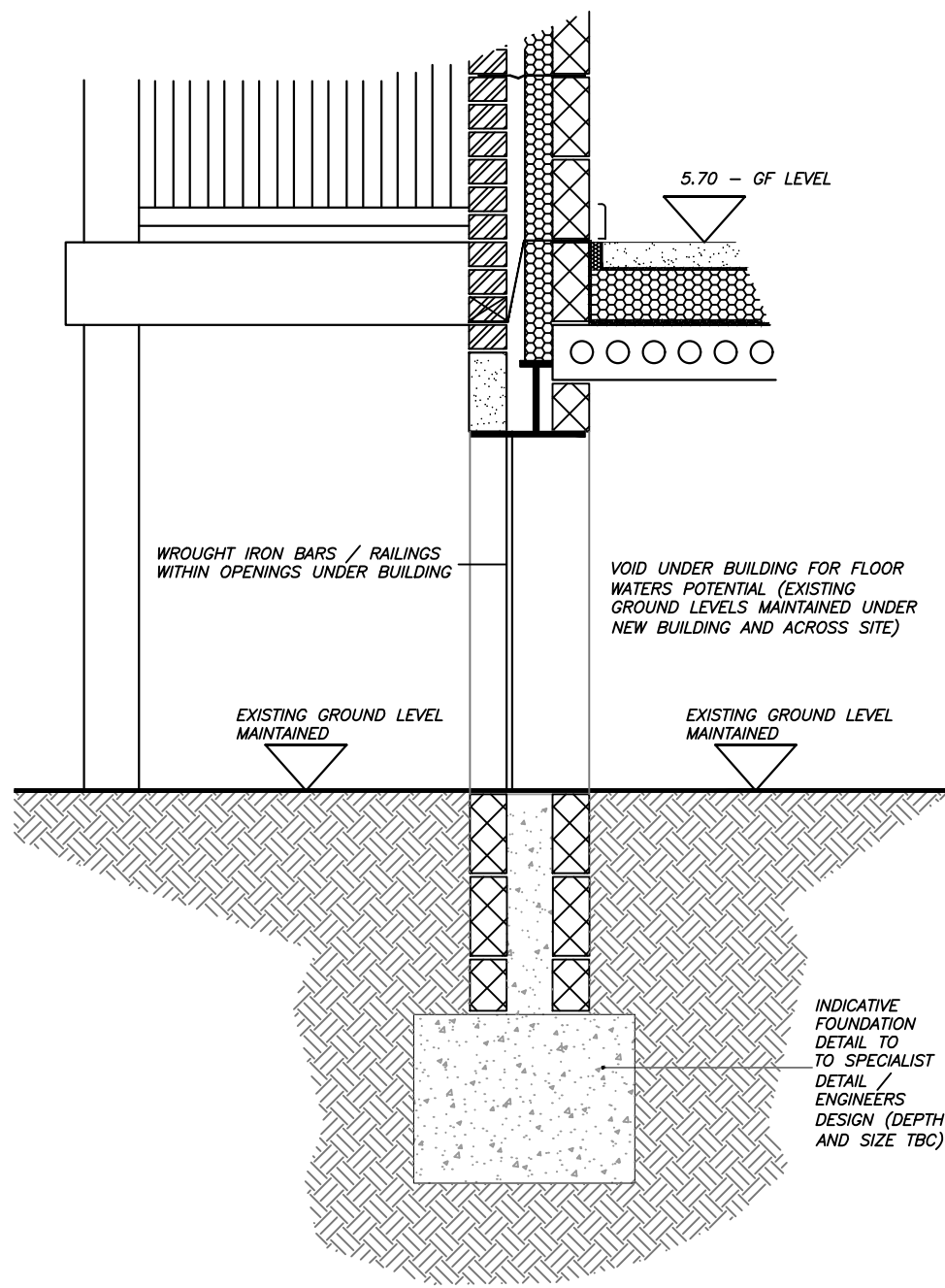




PROPOSED STREET SCENE - THE GROVE (FOR INDICATIVE PURPOSES ONLY)
SCALE 1:200



PROPOSED STREET SCENE - BARRACK ROAD (FOR INDICATIVE PURPOSES ONLY)
SCALE 1:200



INDICATIVE SECTION - SCALE 1:20

NOTES-PLANNING

1. The contents of this drawing are copyright.
2. Do not scale. Figured dimensions only to be used.
3. Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
4. All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
5. Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks - Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of Fire Safety / Part B
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
8. Maclean waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. All Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the clients chosen inspector (LA or Private alternative)
12. To ensure compliance with EWS1 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
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LEGEND

10m @ 1:200



PROPOSED VIEW (FOR INDICATIVE PURPOSES ONLY)

D	Highways and planning changes	29.06.21	TC
C	Lift relocated / client floorplan change	22.03.21	TC
B	Client changes to units,	19.03.21	TC
A	Client changes to chimney	03.03.21	TC

No.	Revision.	date	by
-----	-----------	------	----

LAND AT CORNER OF BARRACK ROAD
AND THE GROVE, ADJACENT TO TESCO
PETROL STATION

PROPOSED STREET SCENES, VISUALISATION AND INDICATIVE SECTION

scale	AS SHOWN @ A1	checked	BC
date	JUNE 2021	drawn	TC / BC

9436 / 105

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LEGEND



10m @ 1:100

GROSS INTERNAL AREA

GROUND FLOOR -	171.5 SQ.M / 1846 SQ.FT
FIRST FLOOR -	170.3 SQ.M / 1833 SQ.FT
TOTAL GIA -	341.8 SQ.M / 3680 SQ.FT

MATERIAL SCHEDULE (A1 FIRE RATED)

WALLS:
BRICK
STONE EFFECT DETAILING
WINDOWS AND DOORS:
WHITE
ROOF:
CLAY EFFECT TILES

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)

D	Highways and planning changes	29.06.21	TC
C	ARC Checks	06.04.21	TC
B	ARC Checks	06.04.21	TC
A	Elevations added	22.03.21	TC

No.	Revision.	date	by
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LAND AT CORNER OF BARRACK ROAD
AND THE GROVE, ADJACENT TO TESCO
PETROL STATION

HOUSE UNITS - PROPOSED FLOORPLANS
AND ELEVATIONS

scale	AS SHOWN @ A1	checked	BC
date	JUNE 2021	drawn	TC / BC
9436 / 106		A	B
		C	D

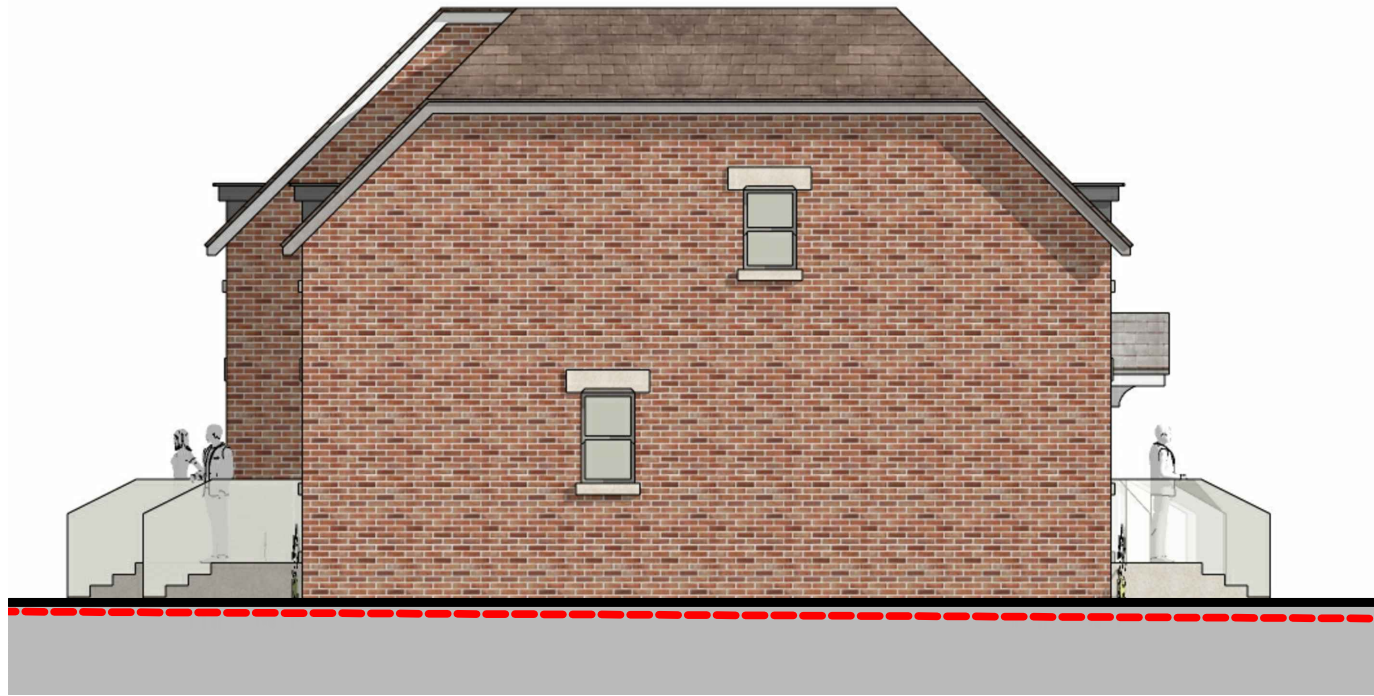
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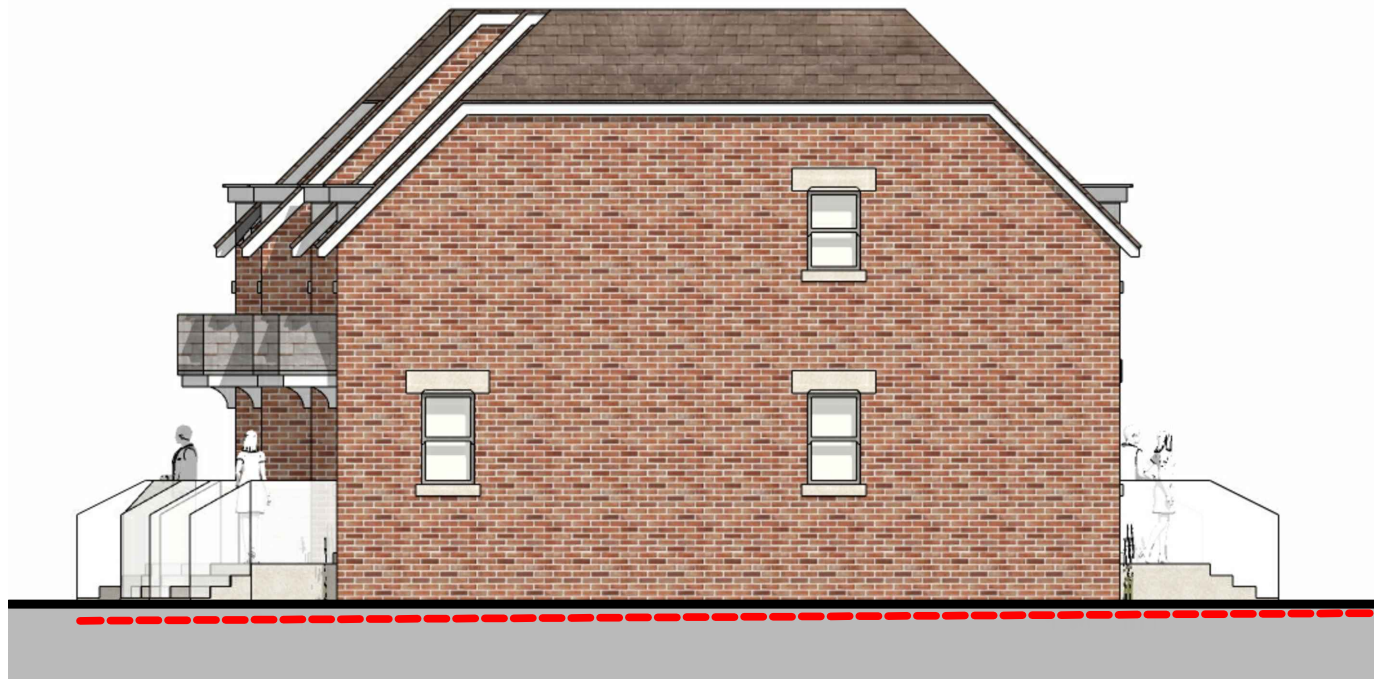
PROPOSED NORTH WEST ELEVATION
SCALE 1:100



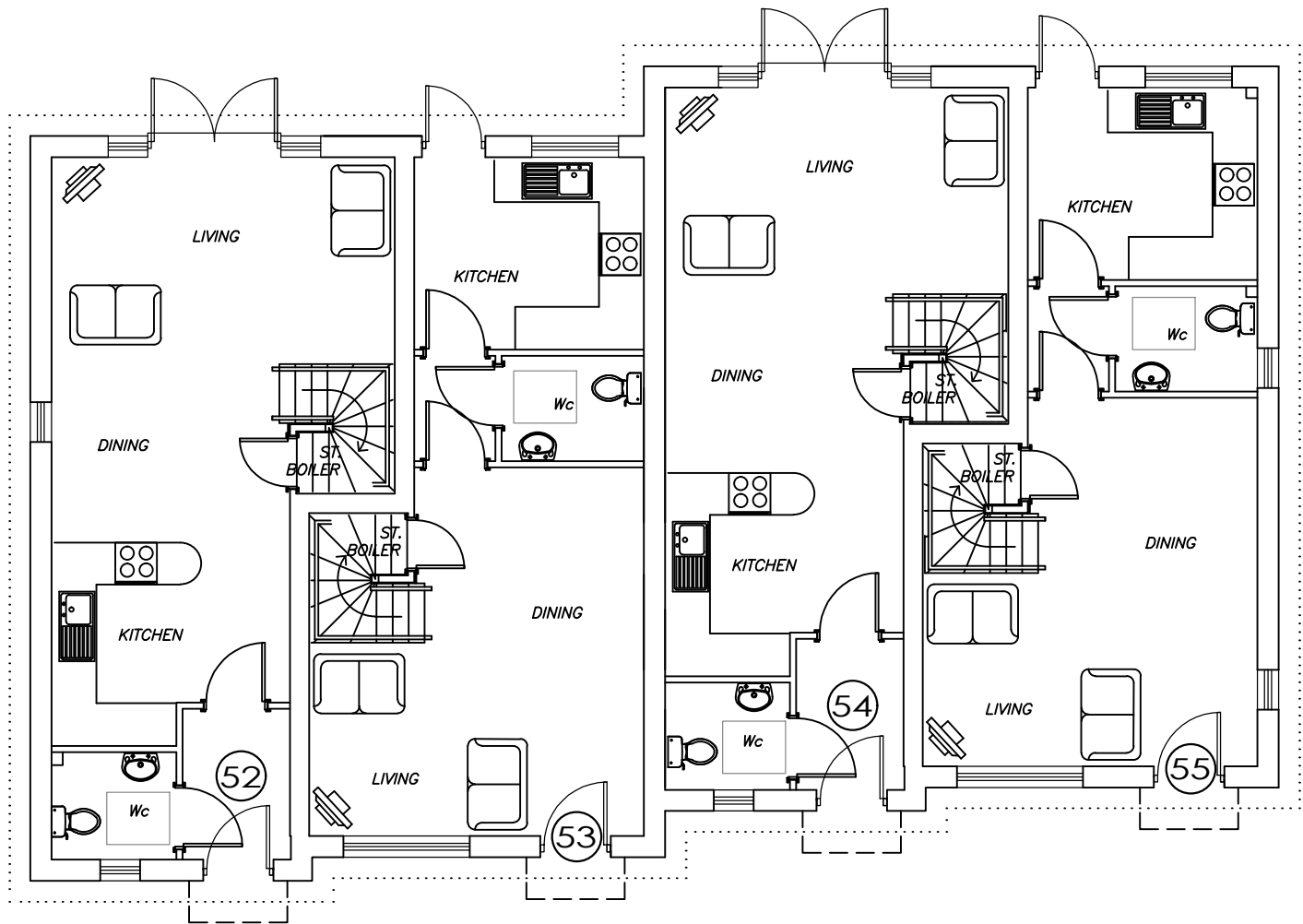
PROPOSED NORTH EAST ELEVATION
SCALE 1:100



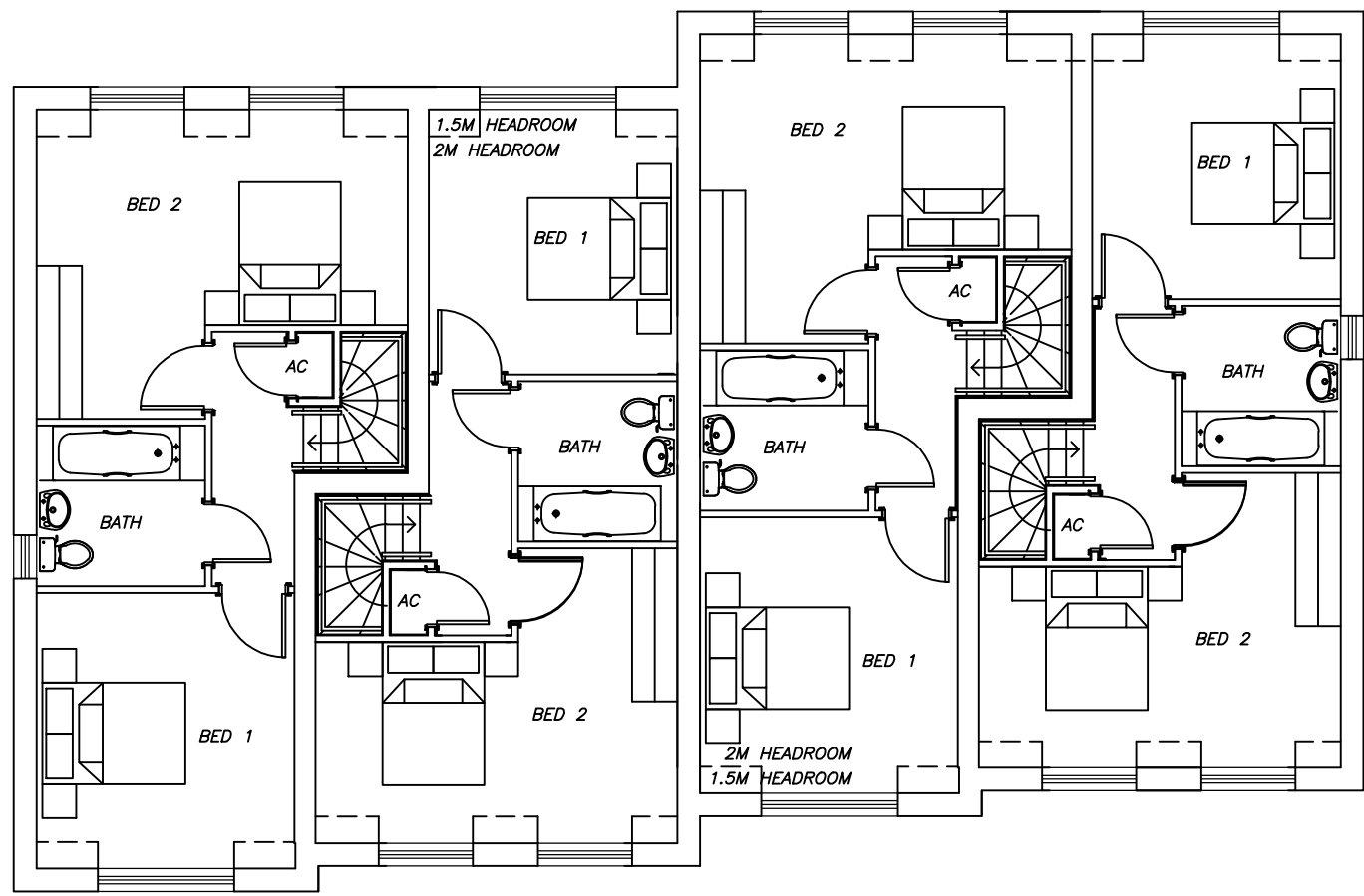
PROPOSED SOUTH EAST ELEVATION
SCALE 1:100



PROPOSED SOUTH WEST ELEVATION
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED FIRST FLOOR PLAN
SCALE 1:100

SCHEDULE OF ACCOMMODATION

UNIT 52: 2 BEDHOUSE @ 83.7 SQM / 901 SQFT
UNIT 53: 2 BEDHOUSE @ 78.3 SQM / 843 SQFT
UNIT 54: 2 BEDHOUSE @ 83.7 SQM / 901 SQFT
UNIT 55: 2 BEDHOUSE @ 78.3 SQM / 843 SQFT